

Board of _____
Supervisors _____

July 13_, 2026

Bethel Township Board of Supervisors
3015 S. Pine Grove Street
Fredericksburg, PA 17026

Re: Request for Zoning Change – 181 Market Drive

Dear Bethel Township Supervisors:

Bell & Evans Realty II, LLC is submitting this letter as its formal request for the rezoning of the 88-acre property at 181 Market Drive in Bethel Township (Parcel No. 19-2341249-411033-0000) from its current Rural Residential (R-R) designation, to instead be zoned Agricultural (A).

The subject property is owned by Timothy and Andrea Showers, who have authorized Bell & Evans Realty II, LLC to submit this request on their behalf. The property is bounded immediately to its south by Interstate 78 (I-78), to its west by Pine Grove Road (SR-0343), to its east by Blue Mountain Road (T-510), and is bisected by Market Drive (T-546). Seven residential properties adjoin its northern border, and a residential / commercial use adjoins it at its southeast corner. Bell & Evans desires to develop the subject property with a 121,000 square foot poultry hatchery building on the south side of Market Drive, and a 36,400 square foot feed mill building and accessory silos and other structures on the north side of Market Drive, all solely serving Bell & Evans' integrated poultry production operations.

In reviewing the Township's Zoning Ordinance, it does not appear that the desired use of the property is explicitly permitted in the Rural-Residential zoning district; rather a more limited set of agricultural uses appear to be permitted here than in the Agricultural district. Therefore, Bell & Evans is respectfully requesting that the Board of Supervisors consider rezoning the subject property from its current Rural-Residential zoning, to instead be zoned Agricultural. A poultry hatchery is a permitted use in the Agricultural district, and we believe that the feed mill being proposed by Bell & Evans, being that it is manufacturing feed exclusively for breeder and grower farms participating in Bell & Evans' integrated poultry production operation (rather than selling feed commercially to other agricultural operations or the general public), would also be permitted as an accessory and/or customarily incidental use to the hatchery.

We have reviewed the Township's zoning map, and find that the proposed rezoning would be consistent both with the existing use of the property and with the surrounding land uses. The property has been used as a dairy operation for several decades. Land directly to its

west across Pine Grove Road is already within the Agricultural zoning district, and agricultural uses also exist directly to its east across Blue Mountain Road. Further, due to the property's location immediately adjacent to I-78, and thus potential incompatibility for residential use, we suggest that the Agricultural designation may be a more appropriate zoning designation than Rural-Residential for this property.

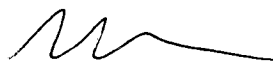
While specific to our use, we also note that changing the zoning on this parcel would allow for the proposed poultry hatchery and accessory feed mill at a location with easy access onto and off of I-78 for travel to our poultry breeder and grower farms not located immediately in Fredericksburg, minimizing overall truck miles on Township roads while supporting efficient agricultural operations.

If the Supervisors do not wish to consider a zoning map amendment at this time, we would suggest that an alternative option that could achieve the same result of allowing and encouraging agricultural enterprises in the Rural-Residential zoning district, would be a text amendment to Section 27-622.2. Specifically, we would suggest that this Section could be revised to instead encompass the full scope of agricultural uses currently allowed in the Agricultural district under Section 27-602.1 ("All forms of agriculture, aquaculture, tree farming, pasturing, truck gardening, horticulture, nurseries, vineyards, aviaries, apiaries, noncommercial greenhouses, commercial greenhouses, hatcheries, and similar enterprises, but excluding intensive animal husbandry operations."). If the Board feels that further clarification of the accessory feed mill use is necessary to permit same, this language could be supplemented by a second sentence that reads: "Similar enterprises shall explicitly include feed mill operations providing feed solely to affiliated breeder and grower operations associated with an agricultural or animal husbandry use occurring on the subject property."

Simultaneous with submission of this letter, Bell & Evans has also submitted an application to the Bethel Township Zoning Hearing Board, seeking variance relief to permit the desired hatchery and accessory feed mill uses in the Rural-Residential zoning district, along with certain special exception and variance relief related to silo and building heights, and entrance driveway widths. While we acknowledge that a Zoning Hearing Board decision may be a swifter path to the desired relief, we believe that the zoning amendments we are asking the Supervisors to consider would be in the Township's best interests long-term as a means to keep the property in active agricultural use.

We respectfully request the opportunity to discuss the proposed changes set forth in this letter with you at your earliest convenience.

Sincerely,



Michael Bracrella
Chief Operating Officer